

Space Coast Home Inspections LLC

Property Inspection Report



1541 La Maderia dr., Palm Bay, Fl. 32908
Inspection prepared for: Melvin Jones & Melvin Jones
Real Estate Agent: Anita Uhrmann - Caldwell Banker

Date of Inspection: 12/16/2014 Time: 11am
Age of Home: 8yrs Size: 2250
Weather: sunny

Inspector: Donald Anderson
License #HI7512



Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. All repairs must be done by a licensed & bonded trade or profession. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Kitchen		
Page 10 Item: 7	Cook top condition	<ul style="list-style-type: none"> • All heating elements operated when tested. • When tested there was a electrical short sound. The unit is original and probably should be replaced
Water Heater		
Page 17 Item: 5	Water Heater Condition	<ul style="list-style-type: none"> • After running the hot water for several minutes the water heater base re filled with water. Recommend evaluation buy a licensed plumber.
Garage		
Page 19 Item: 10	Fire Door	<ul style="list-style-type: none"> • The door between the garage & house is not a fire rated door. @@@This may not have been required when originally built. Fire doors are fundamental to the integrity of fire barriers which provide resistance to the spread of fire, smoke, and toxic gasses. This means that should a fire occur in the garage, this door does not afford protection until fire-rescue people arrive. This door should be replaced with a fire rated door. • Does Not Appear to be a Rated Fire Door
Roof		
Page 22 Item: 7	Gutter	<ul style="list-style-type: none"> • Extensions / Splash blocks missing or insufficient: Install to divert water away from the foundation.

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process. Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair. For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

Inspection Details

1. Attendance

In Attendance: Selling Agent present • No other parties present at inspection.

2. Home Type

Home Type: Single Family Home

3. Occupancy

Occupancy: Occupied - Furnished

Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

1. Bar

Good	Fair	Poor	N/A	None
				X

2. Cabinets

Good	Fair	Poor	N/A	None
				X

3. Ceiling Fans

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated normally when tested, at time of inspection.

4. Closets

Good	Fair	Poor	N/A	None
X				

5. Door Bell

Good	Fair	Poor	N/A	None
X				

6. Doors

Good	Fair	Poor	N/A	None
X				

7. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:

- Some outlets not accessible due to furniture and or stored personal items.

8. Security Bars

Good	Fair	Poor	N/A	None
				X

9. Smoke Detectors

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated when tested.

10. Stairs & Handrail

Good	Fair	Poor	N/A	None
				X

11. Window-Wall AC or Heat

Good	Fair	Poor	N/A	None
				X

12. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

13. Patio Doors

Good	Fair	Poor	N/A	None
X				

Observations:
• **Sliding Patio Doors**

14. Screen Doors

Good	Fair	Poor	N/A	None
				X

15. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall walls noted.

16. Fireplace

Good	Fair	Poor	N/A	None
				X

17. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Aluminum framed single hung window noted.

Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Locations

Locations: Master#1 • North East#1 • South East#2 • South East#3

2. Cabinets

Good	Fair	Poor	N/A	None
			X	

3. Ceiling Fans

Good	Fair	Poor	N/A	None
X				

Observations:
 • Operated normally when tested, at time of inspection.

4. Closets

Good	Fair	Poor	N/A	None
X				

Observations:
 • The closet is in serviceable condition.

5. Doors

Good	Fair	Poor	N/A	None
X				

6. Electrical

Good	Fair	Poor	N/A	None
X				

7. Fireplace

Good	Fair	Poor	N/A	None
				X

8. Floor Condition

Good	Fair	Poor	N/A	None
X				

9. Security Bars

Good	Fair	Poor	N/A	None
				X

Observations:
 • No security bars are present in this room.

10. Smoke Detectors

Good	Fair	Poor	N/A	None
X				

Observations:
 • The smoke detectors operated during the inspection.

11. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall walls noted.

12. Window-Wall AC or Heat

Good	Fair	Poor	N/A	None
				X

13. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Aluminum framed single hung window noted.

14. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

15. Patio Doors

Good	Fair	Poor	N/A	None
				X

16. Screen Doors

Good	Fair	Poor	N/A	None
				X

Bathroom

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Locations

Locations: Master Bathroom • Main floor bath #2

2. Cabinets

Good	Fair	Poor	N/A	None
X				

3. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

4. Counters

Good	Fair	Poor	N/A	None
X				

5. Doors

Good	Fair	Poor	N/A	None
X				

6. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or function concerns noted at time of inspection.

7. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:

- GFCI in place and operational

8. Exhaust Fan

Good	Fair	Poor	N/A	None
X				

Observations:

- The bath fan was operated and no issues were found.

9. Floor Condition

Good	Fair	Poor	N/A	None
X				

10. Heating

Good	Fair	Poor	N/A	None
X				

Observations:

- Central heating and cooling noted in this room. At the time of the inspection, all appeared to be functioning and in serviceable condition.

11. Mirrors

Good	Fair	Poor	N/A	None
X				

12. Plumbing

Good	Fair	Poor	N/A	None
X				

13. Security Bars

Good	Fair	Poor	N/A	None
				X

14. Showers

Good	Fair	Poor	N/A	None
X				

15. Shower Walls

Good	Fair	Poor	N/A	None
X				

16. Bath Tubs

Good	Fair	Poor	N/A	None
X				

Observations:
• Tub

17. Enclosure

Good	Fair	Poor	N/A	None
X				

18. Sinks

Good	Fair	Poor	N/A	None
X				

19. Toilets

Good	Fair	Poor	N/A	None
X				

Observations:
• Observed as functional and in good visual condition.

20. Window Condition

Good	Fair	Poor	N/A	None
X				

Materials: Aluminum framed single hung window noted.
Observations:
• Spring is broken on master bedroom toilet room. but the window is still operating.

Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

1. Cabinets

Good	Fair	Poor	N/A	None
X				

2. Counters

Good	Fair	Poor	N/A	None
X	X			

3. Dishwasher

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated.
- The dishwasher appears to be an older unit, and may have reached the end of its useful life.

4. Doors

Good	Fair	Poor	N/A	None
X				

Observations:

- Sliding Door(s) are not securely installed on tracks.

5. Garbage Disposal

Good	Fair	Poor	N/A	None
X				

Observations:

- Operated - appeared functional at time of inspection.

6. Microwave

Good	Fair	Poor	N/A	None
X				

Observations:

- Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.

7. Cook top condition

Good	Fair	Poor	N/A	None
		X		

Observations:

- Electric cook top noted.
- All heating elements operated when tested.
- When tested there was a electrical short sound. The unit is original and probably should be replaced

8. Oven & Range

Good	Fair	Poor	N/A	None
	X			

Observations:

- The upper and lower electric oven elements were tested at the time of inspection and appeared to function properly. These can fail at anytime without warning. No warranty, guarantee, or certification is given as to future failures.

9. Sinks

Good	Fair	Poor	N/A	None
X				

10. Drinking Fountain

Good	Fair	Poor	N/A	None
				X

11. Spray Wand

Good	Fair	Poor	N/A	None
X				

12. Hot Water Dispenser

Good	Fair	Poor	N/A	None
				X

13. Soap Dispenser

Good	Fair	Poor	N/A	None
				X

14. Trash Compactor

Good	Fair	Poor	N/A	None
				X

15. Vent Condition

Good	Fair	Poor	N/A	None
X				

Materials: Recirculating

16. Window Condition

Good	Fair	Poor	N/A	None
				X

17. Floor Condition

Good	Fair	Poor	N/A	None
X				

18. Plumbing

Good	Fair	Poor	N/A	None
X				

19. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

20. Security Bars

Good	Fair	Poor	N/A	None
				X

21. Patio Doors

Good	Fair	Poor	N/A	None
X				

22. Screen Doors

Good	Fair	Poor	N/A	None
				X

23. Electrical

Good	Fair	Poor	N/A	None
X				

24. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:

- GFCI in place and operational.

25. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall walls noted.

Laundry

1. Locations

2. Cabinets

Good	Fair	Poor	N/A	None
X				

3. Counters

Good	Fair	Poor	N/A	None
				X

4. Dryer Vent

Good	Fair	Poor	N/A	None
X				

5. Electrical

Good	Fair	Poor	N/A	None
X				

6. GFCI

Good	Fair	Poor	N/A	None
				X

7. Exhaust Fan

Good	Fair	Poor	N/A	None
				X

Observations:
• None present.

8. Gas Valves

Good	Fair	Poor	N/A	None
				X

9. Wash Basin

Good	Fair	Poor	N/A	None
				X

10. Floor Condition

Good	Fair	Poor	N/A	None
X				

11. Plumbing

Good	Fair	Poor	N/A	None
X				

12. Wall Condition

Good	Fair	Poor	N/A	None
X				

Materials: Drywall walls noted.

13. Ceiling Condition

Good	Fair	Poor	N/A	None
X				

Materials: There are drywall ceilings noted.

14. Security Bars

Good	Fair	Poor	N/A	None
				X

15. Doors

Good	Fair	Poor	N/A	None
X				

16. Window Condition

Good	Fair	Poor	N/A	None
				X

Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Heater Condition

Good	Fair	Poor	N/A	None
X				

Materials: The home has a dual pack unit.

2. Heater Base

Good	Fair	Poor	N/A	None
X				

3. Enclosure

Good	Fair	Poor	N/A	None
X				

4. Venting

Good	Fair	Poor	N/A	None
			X	

5. Gas Valves

Good	Fair	Poor	N/A	None
			X	

6. Refrigerant Lines

Good	Fair	Poor	N/A	None
X				

7. AC Compress Condition

Good	Fair	Poor	N/A	None
X				

Compressor Type: Electric

Location: The compressor is located on the exterior east.

Observations:

- Appeared functional at the time of inspection.
- The typical temperature differential split between supply and return air in an air conditioner of this type is 15 - 20 degrees F. This system responded and achieved an acceptable differential temperature of @@ degrees F.

8. Air Supply

Good	Fair	Poor	N/A	None
X				

Observations:

- The return air supply system appears to be functional.

9. Registers

Good	Fair	Poor	N/A	None
X				

10. Filters

Good	Fair	Poor	N/A	None
X				

Location: Located in a filter grill in a hall area wall.

11. Thermostats

Good	Fair	Poor	N/A	None
X				

Observations:

- Digital - programmable type.
- Functional at the time of inspection.

Water Heater

1. Base

Good	Fair	Poor	N/A	None
	X			

Observations:

- The water heater based has standing water in it it should be drained and cleaned.

2. Heater Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:

- The water heater enclosure is stained. We recommend cleaning.

3. Combusion

Good	Fair	Poor	N/A	None
X				

4. Venting

Good	Fair	Poor	N/A	None
X				

5. Water Heater Condition

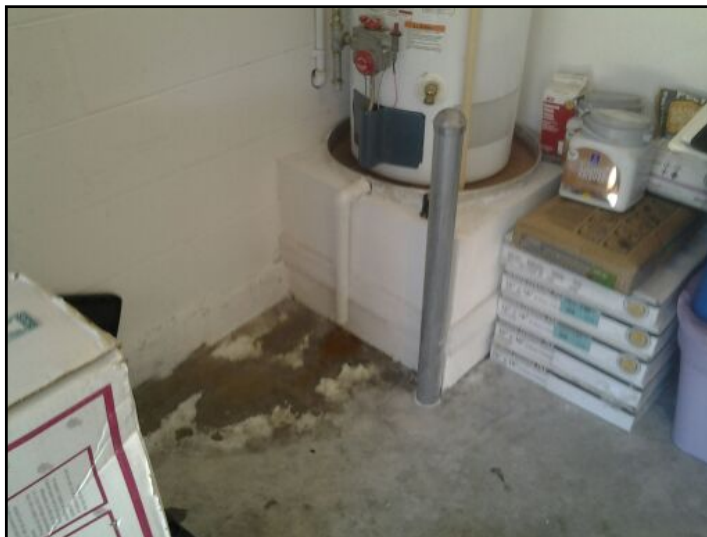
Good	Fair	Poor	N/A	None
		X		

Heater Type: Gas

Location: The heater is located in the garage.

Observations:

- After running the hot water for several minutes the water heater base re filled with water. Recommend evaluation buy a licensed plumber.



6. TPRV

Good	Fair	Poor	N/A	None
X				

7. Number Of Gallons

Good	Fair	Poor	N/A	None
X				

Observations:

- 40 gallons

8. Gas Valve

Good	Fair	Poor	N/A	None
X				

Observations:
• Appears functional.

9. Plumbing

Good	Fair	Poor	N/A	None
X				

Materials: PVC

10. Overflow Condition

Good	Fair	Poor	N/A	None
X				

Materials: PVC

11. Strapping

Good	Fair	Poor	N/A	None
			X	

Garage

1. Roof Condition

Good	Fair	Poor	N/A	None
X				

2. Walls

Good	Fair	Poor	N/A	None
X				

3. Anchor Bolts

Good	Fair	Poor	N/A	None
X				

Observations:

- The anchor bolte were inspected and appear to be serviceable.

4. Floor Condition

Good	Fair	Poor	N/A	None
X				

5. Rafters & Ceiling

Good	Fair	Poor	N/A	None
X				

6. Electrical

Good	Fair	Poor	N/A	None
X				

7. GFCI

Good	Fair	Poor	N/A	None
X				

8. 240 Volt

Good	Fair	Poor	N/A	None
				X

Observations:

- There are no 240 volt outlets visible in this room.

9. Exterior Door

Good	Fair	Poor	N/A	None
				X

10. Fire Door

Good	Fair	Poor	N/A	None
				X

Observations:

- The door between the garage & house is not a fire rated door. @@@This may not have been required when originally built. Fire doors are fundamental to the integrity of fire barriers which provide resistance to the spread of fire, smoke, and toxic gasses. This means that should a fire occur in the garage, this door does not afford protection until fire-rescue people arrive. This door should be replaced with a fire rated door.
- Does Not Appear to be a Rated Fire Door

11. Garage Door Condition

Good	Fair	Poor	N/A	None
X				

12. Garage Door Parts

Good	Fair	Poor	N/A	None
X				

13. Garage Opener Status

Good	Fair	Poor	N/A	None
X				

Observations:
 • Chain drive opener noted.

14. Garage Door's Reverse Status

Good	Fair	Poor	N/A	None
X				

Observations:
 • Eye beam system present and operating.

15. Ventilation

Good	Fair	Poor	N/A	None
X				

16. Vent Screens

Good	Fair	Poor	N/A	None
			X	

17. Cabinets

Good	Fair	Poor	N/A	None
				X

18. Counters

Good	Fair	Poor	N/A	None
				X

19. Wash Basin

Good	Fair	Poor	N/A	None
				X

Electrical

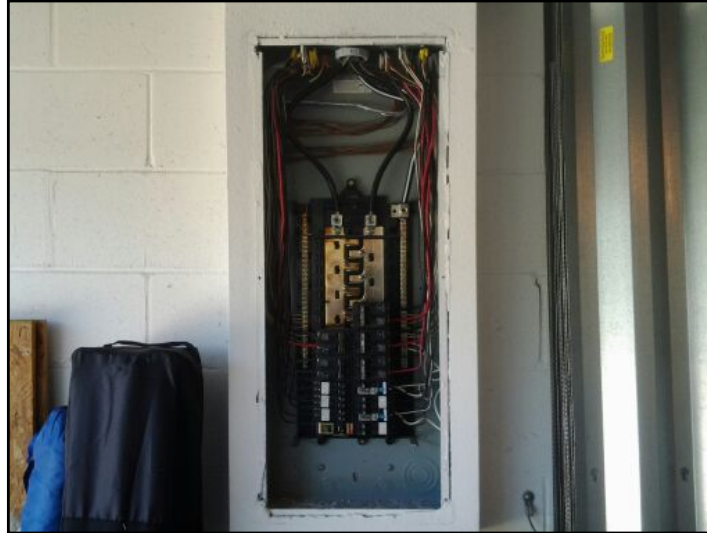
1. Electrical Panel

Good	Fair	Poor	N/A	None
X				

Location: East side of the house.
 Location: Located in the garage.

Observations:

- No major system safety or function concerns noted at time of inspection at main panel box.



2. Main Amp Breaker

Good	Fair	Poor	N/A	None
X				

Observations:

- 150 amp

3. Breakers in off position

Good	Fair	Poor	N/A	None
				X

Observations:

- 0

4. Cable Feeds

Good	Fair	Poor	N/A	None
X				

Observations:

- There is an overhead service drop noted.
- There is an underground service lateral noted.

5. Breakers

Good	Fair	Poor	N/A	None
X				

Materials: Copper non-metallic sheathed cable noted.

Observations:

- All of the circuit breakers appeared serviceable.

6. Fuses

Good	Fair	Poor	N/A	None
			X	X

Roof

1. Roof Condition

Good	Fair	Poor	N/A	None
X				

Materials: Asphalt shingles noted.

Observations:

- No major system safety or function concerns noted at time of inspection.

2. Flashing

Good	Fair	Poor	N/A	None
X				

3. Chimney

Good	Fair	Poor	N/A	None
				X

4. Sky Lights

Good	Fair	Poor	N/A	None
				X

5. Spark Arrestor

Good	Fair	Poor	N/A	None
			X	

6. Vent Caps

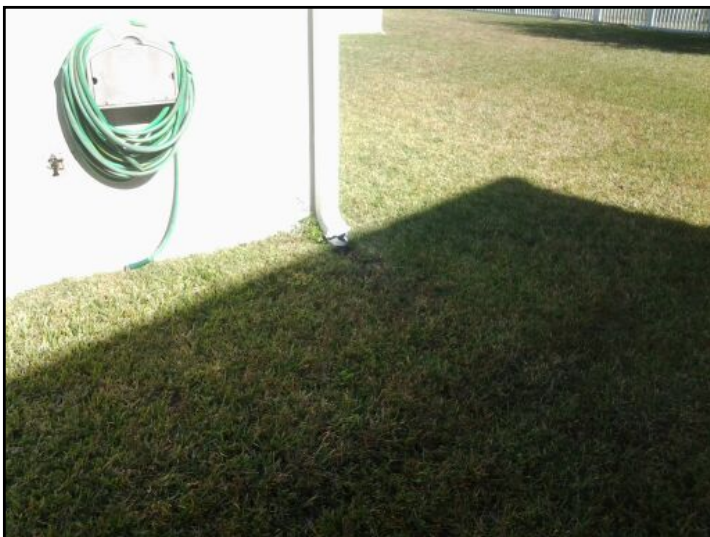
Good	Fair	Poor	N/A	None
X				

7. Gutter

Good	Fair	Poor	N/A	None
X				

Observations:

- Extensions / Splash blocks missing or insufficient: Install to divert water away from the foundation.



Attic

1. Access

Good	Fair	Poor	N/A	None
X				

Observations:
 • Scuttle Hole located in:
 • Garage area

2. Structure

Good	Fair	Poor	N/A	None
X				

3. Ventilation

Good	Fair	Poor	N/A	None
X				

4. Vent Screens

Good	Fair	Poor	N/A	None
X				

5. Duct Work

Good	Fair	Poor	N/A	None
X				



6. Electrical

Good	Fair	Poor	N/A	None
X				

Observations:
 • Most areas not accessible due to insulation.

7. Attic Plumbing

Good	Fair	Poor	N/A	None
X				

8. Insulation Condition

Good	Fair	Poor	N/A	None
X				



9. Chimney

Good	Fair	Poor	N/A	None
				X

10. Exhaust Vent

Good	Fair	Poor	N/A	None
X				

Exterior Areas

1. Doors

Good	Fair	Poor	N/A	None
X				

2. Window Condition

Good	Fair	Poor	N/A	None
X				

Observations:

- Components appeared in satisfactory condition at time of inspection.
- Some window screens damaged.



3. Siding Condition

Good	Fair	Poor	N/A	None
X				

4. Eaves & Facia

Good	Fair	Poor	N/A	None
X				

5. Exterior Paint

Good	Fair	Poor	N/A	None
X				

6. Stucco

Good	Fair	Poor	N/A	None
X				

Foundation

1. Slab Foundation

Good	Fair	Poor	N/A	None
X				

Observations:

- Concrete slab not visible due to floor coverings.

2. Foundation Perimeter

Good	Fair	Poor	N/A	None
X				

Observations:

- No leaks were observed at the time of the inspection.
- There was a minor stairs step crack very minor. Monitor caulk and paint.



3. Foundation Walls

Good	Fair	Poor	N/A	None
X				

Observations:

- Cracks / Holes (1/4" or less) present in: foundation / floor / ext. wall. Consider sealing them to prevent water infiltration. Generally speaking, cracks that are less than 1/4" are not commonly regarded as being structurally significant.

4. Cripple Walls

Good	Fair	Poor	N/A	None
				X

5. Ventilation

Good	Fair	Poor	N/A	None
				X

6. Vent Screens

Good	Fair	Poor	N/A	None
			X	

7. Access Panel

Good	Fair	Poor	N/A	None
			X	

8. Post and Girders

Good	Fair	Poor	N/A	None
			X	

9. Sub Flooring

Good	Fair	Poor	N/A	None
			X	

10. Anchor Bolts

Good	Fair	Poor	N/A	None
			X	

11. Foundation Electrical

Good	Fair	Poor	N/A	None
			X	

12. Foundation Plumbing

Good	Fair	Poor	N/A	None
			X	

13. Sump Pump

Good	Fair	Poor	N/A	None
			X	

14. Ducting

Good	Fair	Poor	N/A	None
			X	

Grounds

1. Driveway and Walkway Condition

Good	Fair	Poor	N/A	None
X				

Materials: Concrete driveway noted. • Concrete sidewalk noted.

Observations:

- Moderate cracks in sidewalk. Repair and / or monitor for expansion and development of trip hazards.

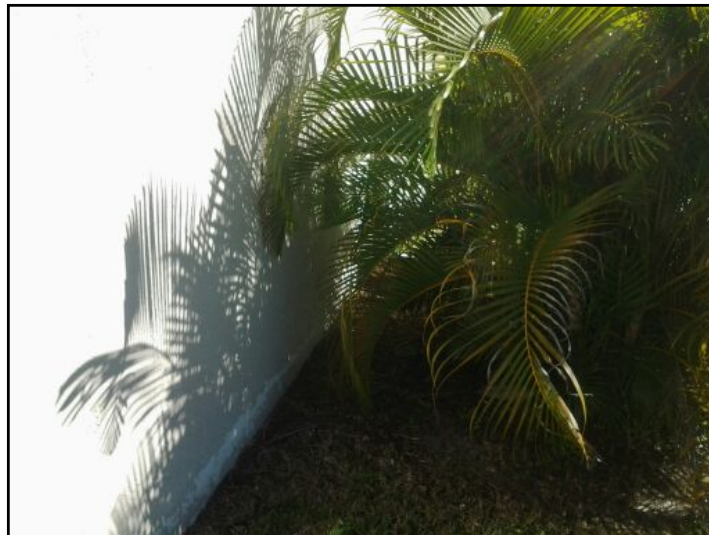


2. Grading

Good	Fair	Poor	N/A	None
X				

Observations:

- No major system safety or function concerns noted at time of inspection.



3. Vegetation Observations

Good	Fair	Poor	N/A	None
X				

Observations:

- Prune or remove any plants that are in contact or proximity to home to eliminate pathways of wood destroying insects.

4. Gate Condition

Good	Fair	Poor	N/A	None
X				

Materials: The gate is made of ok of vinyl material

5. Patio and Porch Deck

Good	Fair	Poor	N/A	None
				X

6. Stairs & Handrail

Good	Fair	Poor	N/A	None
				X

7. Grounds Electrical

Good	Fair	Poor	N/A	None
X				

8. GFCI

Good	Fair	Poor	N/A	None
X				

Observations:
 • GFCI receptacles are in good condition.

9. Main Gas Valve Condition

Good	Fair	Poor	N/A	None
X				

Materials: East side.

10. Plumbing

Good	Fair	Poor	N/A	None
X				

Materials: There was no visible exterior plumbing to the house at the time of inspection. Outside water pressure was good

11. Water Pressure

Good	Fair	Poor	N/A	None
X				

12. Pressure Regulator

Good	Fair	Poor	N/A	None
				X

13. Exterior Faucet Condition

Good	Fair	Poor	N/A	None
X				

14. Balcony

Good	Fair	Poor	N/A	None
			X	X

15. Patio Enclosure

Good	Fair	Poor	N/A	None
X				

Observations:
 • There is 1 turn screen it looks like homeowner repair but has been repaired

16. Patio and Porch Condition

Good	Fair	Poor	N/A	None
X				

Materials: The patio/porch roof is the same as main structure.

17. Fence Condition

Good	Fair	Poor	N/A	None
X				

18. Sprinklers

Good	Fair	Poor	N/A	None
				X

Residential Earthquake Hazards Report

Yes	No	N/A	Don't Know	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Is the water heater braced, strapped, or anchored to resist falling during an earthquake?
Yes	No	N/A	Don't Know	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Is the house anchored or bolted to the foundation?
Yes	No	N/A	Don't Know	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. If the house has cripple walls:
				a. Are the exterior cripple walls braced?
Yes	No	N/A	Don't Know	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	b. If the exterior foundation consists of unconnected concrete piers and posts, have they been strengthened?
Yes	No	N/A	Don't Know	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. If the exterior foundation, or part of it, is made of unreinforced masonry, has it been strengthened?
Yes	No	N/A	Don't Know	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	5. If the house is built on a hillside:
				a. Are the exterior tall foundation walls braced?
Yes	No	N/A	Don't Know	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	b. Were the tall posts or columns either built to resist earthquakes or have they been strengthened?
Yes	No	N/A	Don't Know	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6. If the exterior walls of the house, or part of them, are made of unreinforced masonry, have they been strengthened?
Yes	No	N/A	Don't Know	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	7. If the house has a living area over the garage, was the wall around the garage dooropening either built to resist earthquakes or has it been strengthened?
Yes	No	Don't Know		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		8. Is the house outside an Alquist-Priolo Earthquake Fault Zone (zones immediately surrounding known earthquake faults)?
Yes	No	Don't Know		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		9. Is the house outside a Seismic Hazard Zone (zone identified as susceptible to liquefaction or landsliding)?

EXECUTED BY:

 (Seller) (Seller) Date

I acknowledge receipt of this form, completed and signed by the seller. I understand that if the seller has answered "No" to one or more questions, or if seller has indicated a lack of knowledge, there may be one or more earthquake weaknesses in this house.

 (Buyer) (Buyer) Date